

SKETCH PLAN OF:

Proposed Lot 16 Latoria Terrace

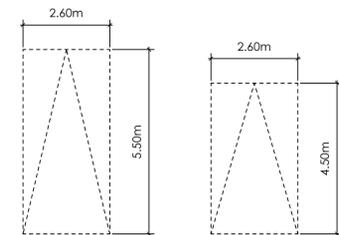
Parcel Identifier: TBD

LEGEND
Elevations are geodetic referred to Lanford Integrated Survey

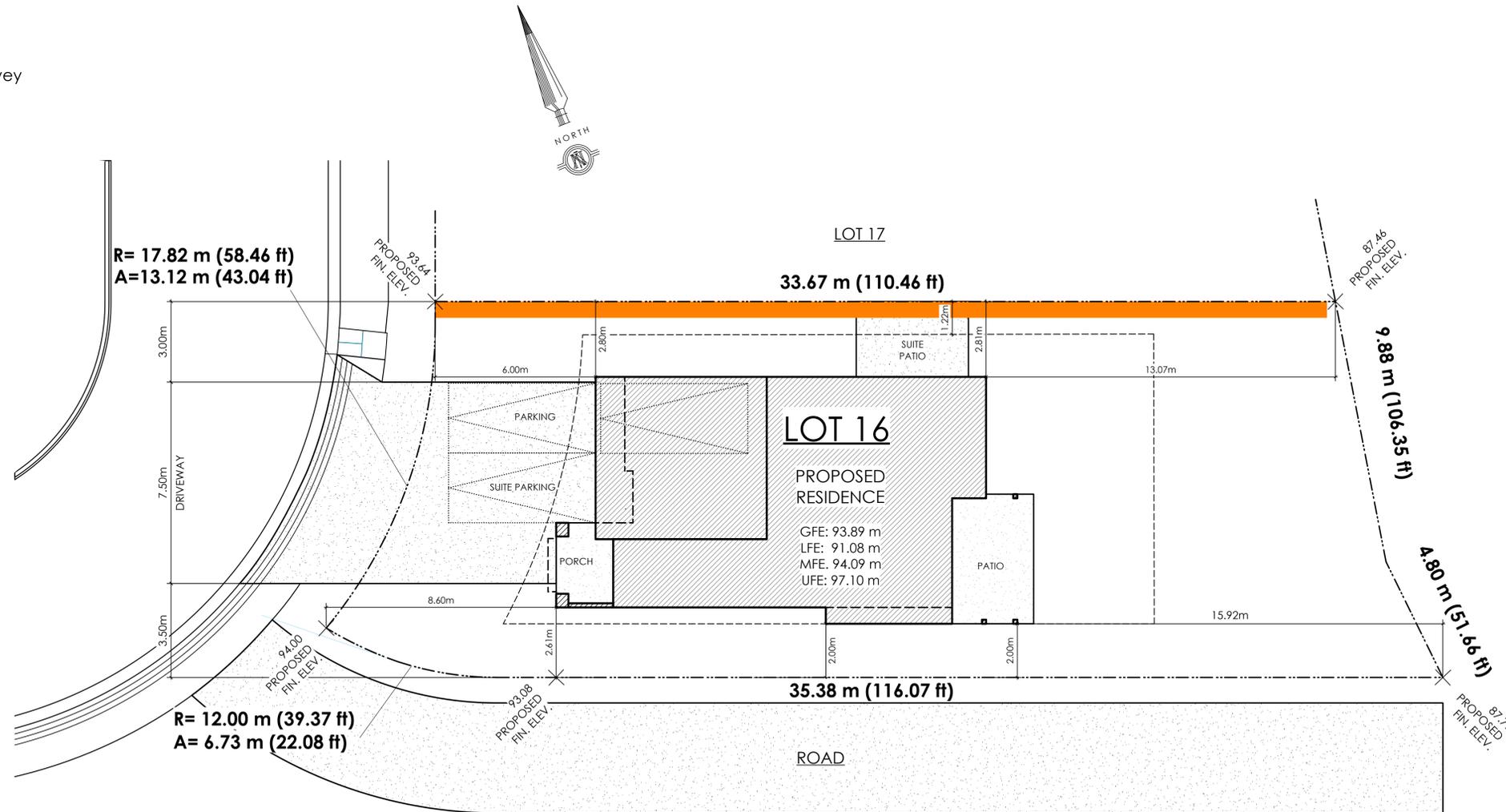
 - denotes Green Space

SITE DATA	R2	LOT 26
ITEMS	PERMITTED	PROPOSED
LOT AREA		487.09 sq.m.
LOT COVERAGE	50.00 %	29.21 %
HEIGHT	11.00 m.	8.64 m.
SETBACKS		
- FRONT (W)	3.00 m.	8.46 m.
- REAR (E)	3.00 m.	5.62 m.
- SIDE (N)	1.20 m.	1.20 m.
- SIDE (S)	2.00 m.	3.09 m.
- GARAGE	5.50 m.	9.07 m.
FLOOR AREA		
- UPPER		114.65 sq.m.
- MAIN		82.73 sq.m.
- LOWER		85.09 sq.m.
- GARAGE		38.69 sq.m.
TOTAL FLOOR AREA		321.16 sq.m.

LOT 16



PARKING STALL DIMENSIONS
SMALL CAR PARKING STALL DIMENSIONS
* as per 2.2.02a allowing one stall to be a small car parking stall



1 Siteplan
A2 Scale: 1/4" = 1'-0"

LIST OF DRAWINGS	
A1	General Notes
A2	Site plan
A3	Elevations
A4	Foundation & Lower Floor
A5	Main & Upper Floors
A6	Cross-Section
D1	Construction Details
D2	Rainscreen Details

ISSUED/REVISED		
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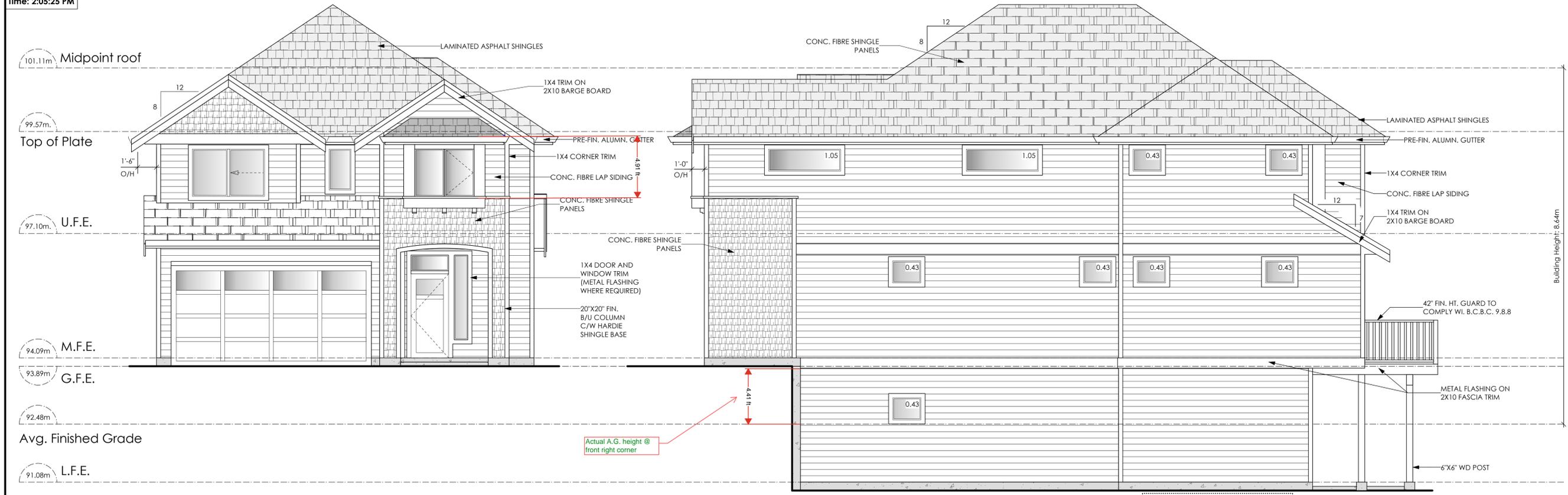
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DATE	Mar 04, 2025	DRAWG NO.	8524 Lot 16
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SCALE	As Shown	SHT. NO.	A2 OF A6

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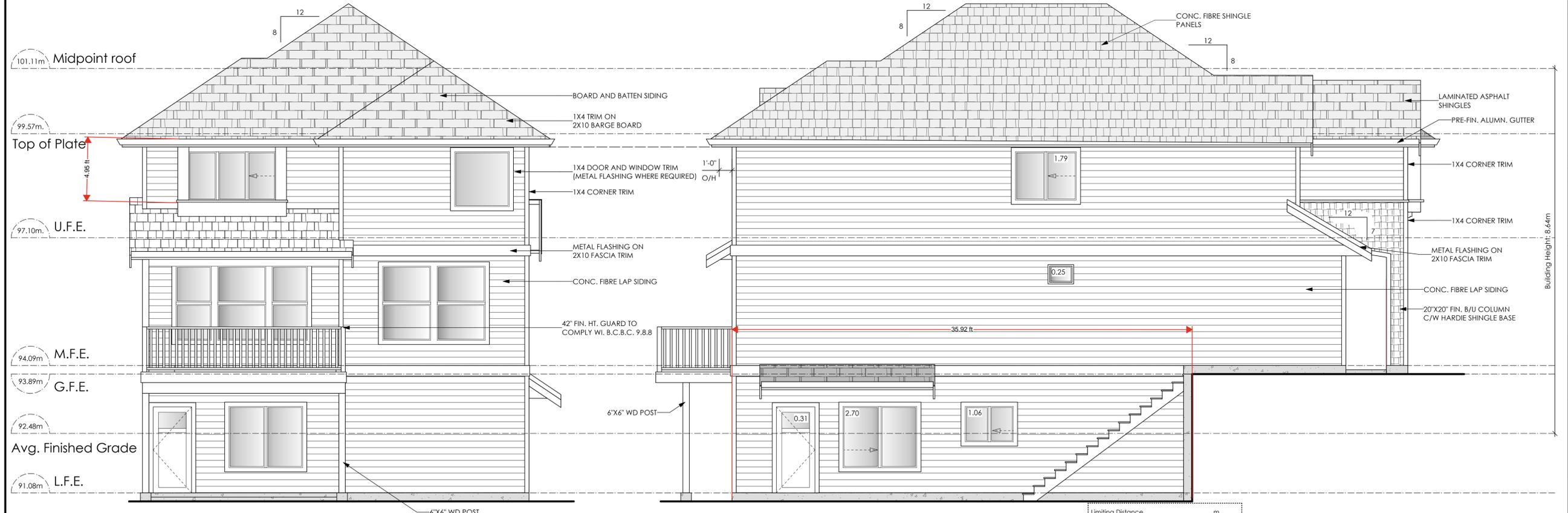
PROJECT
PROPOSED RESIDENCE
Langdon Weir Construction Ltd.
Lot 16 - Latoria Terrace
2160 Bellflower Dr.
Langford, B.C.



1 Front Elevation
A3 Scale: 1/4" = 1'-0"

2 Right Side Elevation
A3 Scale: 1/4" = 1'-0"

Limiting Distance	2.61	m.
Exposed Building Face	133.49	sq.m.
Allowable Openings	8.0	%
Allowable Opening Area	10.67	sq.m.
Proposed Openings	5.11	sq.m.



3 Rear Elevation
A3 Scale: 1/4" = 1'-0"

4 Left Side Elevation
A3 Scale: 1/4" = 1'-0"

Limiting Distance	2.80	m.
Exposed Building Face	113.84	sq.m.
Allowable Openings	8	%
Allowable Opening Area	9.11	sq.m.
Proposed Openings	6.11	sq.m.

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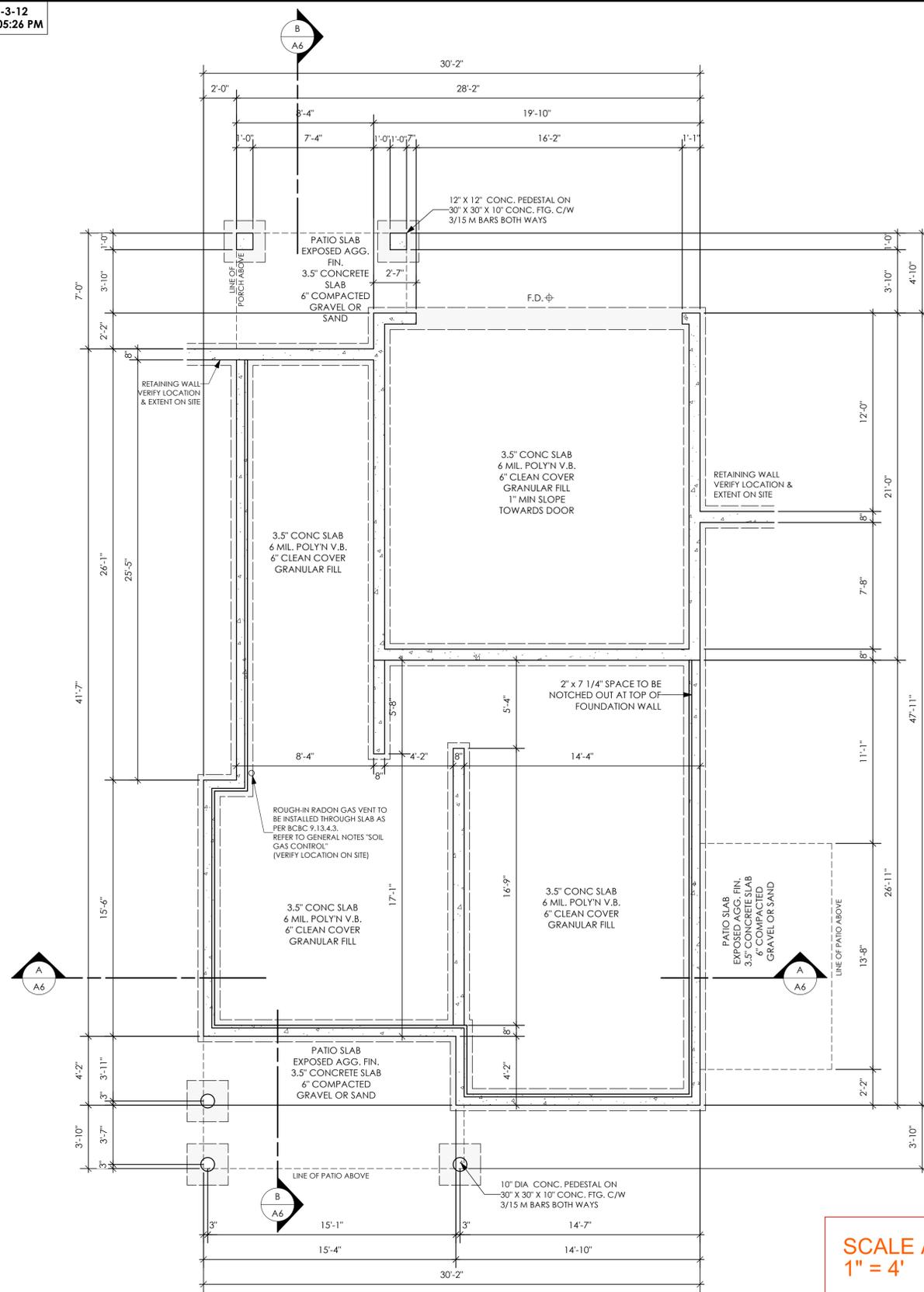
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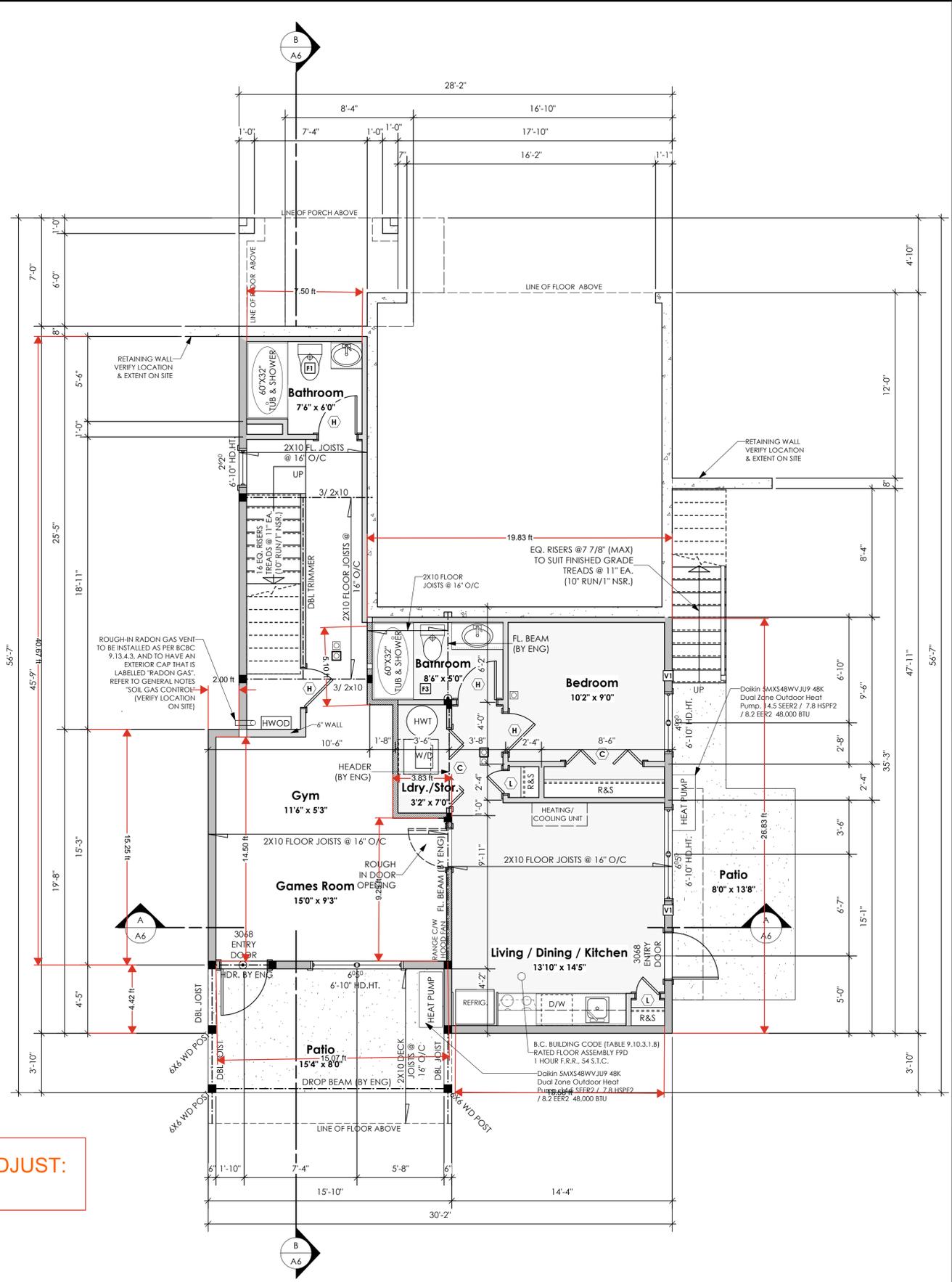
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SCALE ADJUST:
1" = 4'



- MECHANICAL FAN(S) & VENT(S)**
- F1 BATHROOM FAN: 23 L/S (50 CFM) INTERMITTENT, 9 L/S (20 CFM) CONTINUOUS
 - F2 PRINCIPAL EXHAUST FAN: 28 L/S (60 CFM) CONTINUOUS
 - F3 PRINCIPAL EXHAUST & BATHROOM FAN FOR SUITE: 23 L/S (50 CFM) INTERMITTENT, 14 L/S (30 CFM) CONTINUOUS
 - V1 PASSIVE SUPPLY VENT
- REFER TO GENERAL NOTES

- ☒ INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH BCBC 9.10.19. INTERCONNECTED CARBON MONOXIDE DETECTORS TO COMPLY WITH BCBC 9.32.4.2.
- ☒ INTERCONNECTED PHOTOELECTRIC SMOKE ALARMS TO COMPLY WITH BCBC 9.10.14.5(2)(b) & 9.10.19.5(2)(b)

- SYMBOLS & WALL LEGEND**
- ▬ 2" X 4" INTERIOR & FURRING
 - ▬ 2" X 6" EXTERIOR & INTERIOR
 - ▬ RATED WALL (SEE ASSEMBLIES)
 - ▬ 8" THK. CONC. FOUNDATION WALL
 - ▬ 16" X 8" CONC. STRIP FOOTING
 - BUILT-UP WOOD POST
 - BUILT-UP WOOD POST TO SUPPORT LOAD FROM ABOVE
 - POINT LOAD ON BEAM FROM ABOVE

- DOOR SCHEDULE**
- F 2'10" X 6'8" (34" X 80")
 - A 8'0" X 6'8" (96" X 80")
 - B 6'0" X 6'8" (72" X 80")
 - C 5'0" X 6'8" (60" X 80")
 - D 4'0" X 6'8" (48" X 80")
 - E 3'0" X 6'8" (36" X 80")
 - G 2'8" X 6'8" (32" X 80")
 - H 2'6" X 6'8" (30" X 80")
 - J 2'4" X 6'8" (28" X 80")
 - K 2'0" X 6'8" (24" X 80")
 - L 1'6" X 6'8" (18" X 80")

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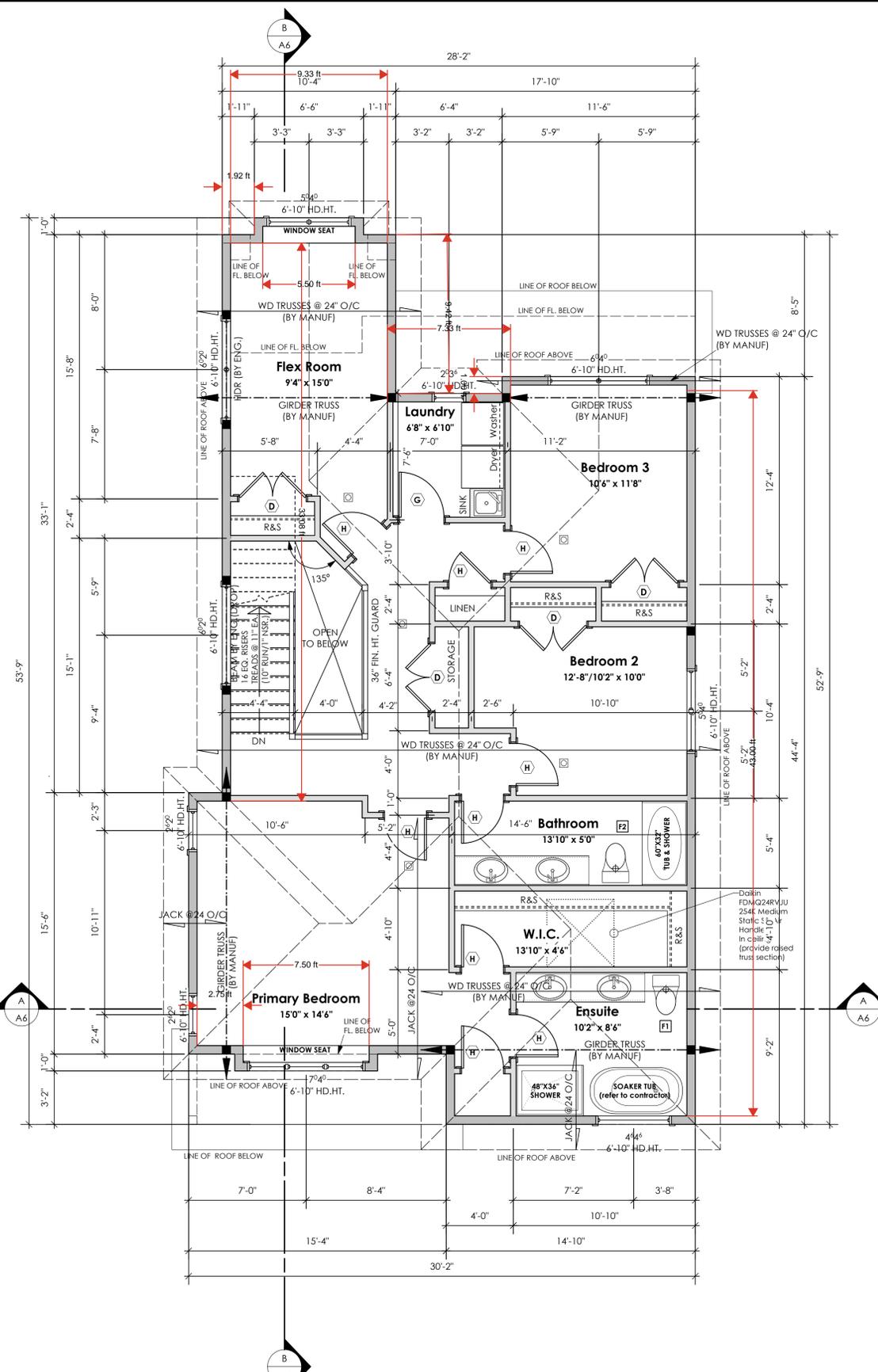
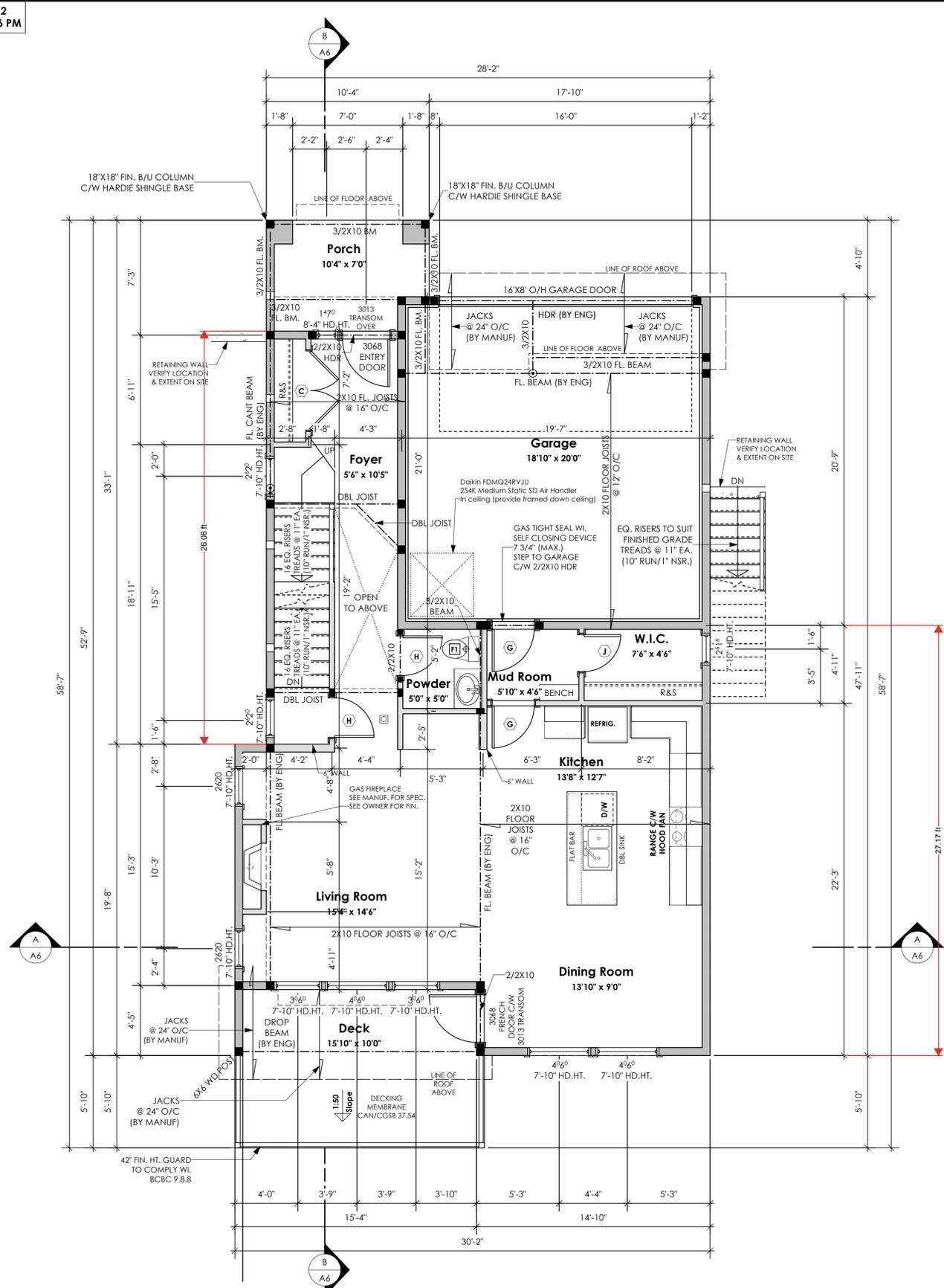


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SYMBOLS & WALL LEGEND

- ▬ 2" X 4" INTERIOR & FURRING
- ▬ 2" X 6" EXTERIOR & INTERIOR
- ▨ RATED WALL (SEE ASSEMBLIES)
- ▬ 8" THK. CONC. FOUNDATION WALL
- ▬ 16" X 8" CONC. STRIP FOOTING
- BUILT-UP WOOD POST
- BUILT-UP WOOD POST TO SUPPORT LOAD FROM BEAM
- POINT LOAD ON BEAM FROM ABOVE

DOOR SCHEDULE

- A 80 X 68 (96" X 80")
- B 60 X 68 (72" X 80")
- C 50 X 68 (60" X 80")
- D 40 X 68 (48" X 80")
- E 30 X 68 (36" X 80")
- F 210 X 68 (34" X 80")
- G 28 X 68 (32" X 80")
- H 26 X 68 (30" X 80")
- J 24 X 68 (28" X 80")
- K 20 X 68 (24" X 80")
- L 16 X 68 (18" X 80")

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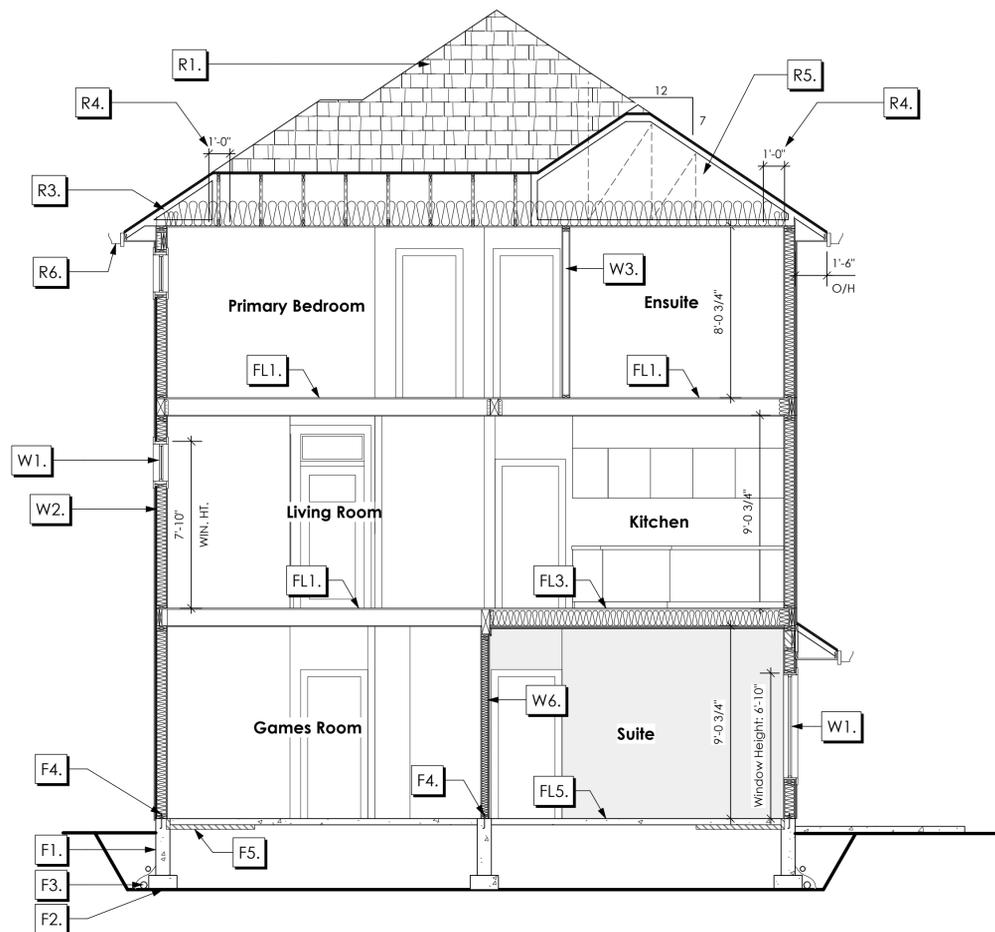


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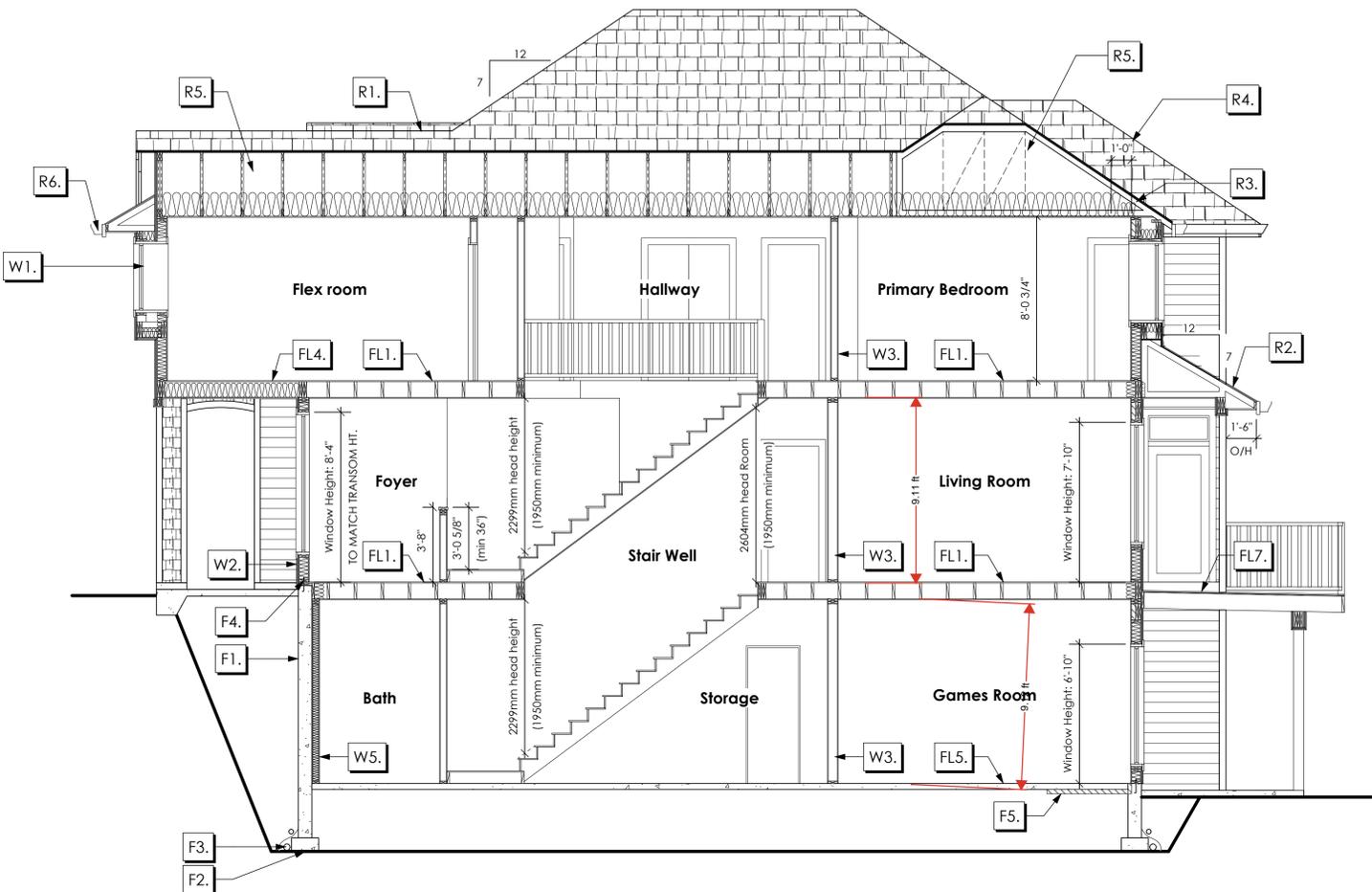
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1 Section A-A
A6 Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)



2 Section B-B
A6 Scale: 1/4" = 1'-0"

ROOFS

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD **WD TRUSSES (DESIGNED BY MANUF.)**
R-40 FIBRE GLASS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING)
6 MIL POLY'N V.B.
5/8" GYPSUM BOARD
- R2. DUROID ROOFING C/W UNDERLAYMENT ON 7/16" ORIENTED STRAND BOARD **WD TRUSSES (DESIGNED BY MANUF.)**
VENTED SOFFIT
- R3. PROVIDE 2 1/2" (63MM) CLEAR BETWEEN R-20 INSULATION AND SHEATHING.
(MIN. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION BAFFLES TO BE INSTALLED WHERE REQUIRED IN AS PER BCBC 9.19.)
- R4. EAVE PROTECTION
CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY WI. B.C. BLDG. CODE 9.19.1)
- R6. PRE-FIN. FASCIA GUTTER
2x8 FASCIA BD.
2x4 SUB. FASCIA BD.
VENTED SOFFIT
(SEE CONTRACTOR)

FLOORS

- FL1. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION
- FL3. B.C. BUILDING CODE (TABLE 9.10.3.1.B) RATED FLOOR ASSEMBLY FPD
FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) R-31 INSULATION
RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" X-TYPE GYPSUM BOARD 1 HOUR F.R.R., 54 S.T.C.
- FL4. FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY
BUILDING WRAP
VENTED SOFFIT (TO OWNERS SPEC'S)
TO ALL SUSPENDED FLOOR AREAS

- FL5. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL6. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL7. DECKING MEMBRANE (TO COMPLY WITH CAN/CGSB 37.54) ON 5/8" PLYWOOD SHEATHING 2x10 DECK JOISTS @ 16" O/C C/W (PROVIDE ADEQUATE MEMBRANE "UPSTAND" @ EXT. WALL.) (SLOPE JOISTS TO PROVIDE MIN. 1:50 SLOPE)

WALLS

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER @ BEARING WALLS ONLY (TYPICAL. WI. 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS TO BE SHATTERPROOF (SP)) SEE GENERAL NOTES FOR NAFS AND STEP CODE REQUIREMENTS
- W2. CONC. FIBRE BOARD ON 9.5MM (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING BUILDING WRAP on 7/16" ORIENTED STRAND BOARD SHEATHING 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W4. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6 MIL. POLY'N V.B 1/2" GYPSUM BOARD (BETWEEN GARAGE & LIVING) (NOT SHOWN IN SECTION)

2.5" xps used in actual build

- W5. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" O/C C/W R-12 BATT INSULATION HOUSE WRAP (A.B.) (TYVEK OR EQ.) OR 12.7MM (1/2") AIR SPACE (PROVIDE REQUIRED FIRE STOPS IN WALL ASSEMBLIES TO COMPLY WITH B.C. BLDG. CODE 9.10.16.) (NOT SHOWN IN SECTION)
- W6. B.C. BUILDING CODE 2024 (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE).

FOUNDATION WALLS

- F1. DAMP PROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"x8" CONC. FOOTINGS C/W 2 (TWO) 15M BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. O/C MAX C/W SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2M) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY (VERIFY WITH MUNICIPALITY DEPTH OF FROST LEN)

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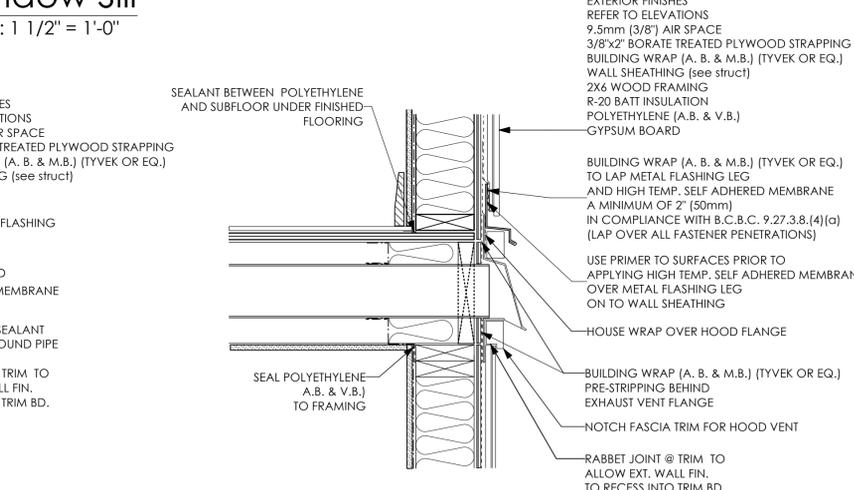
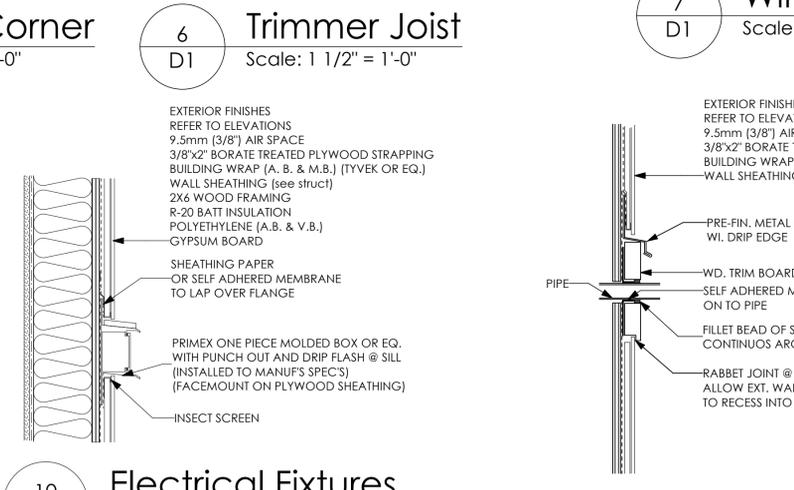
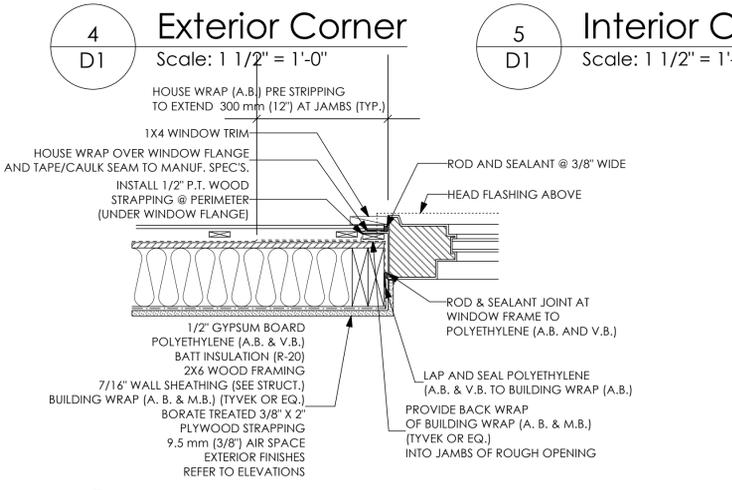
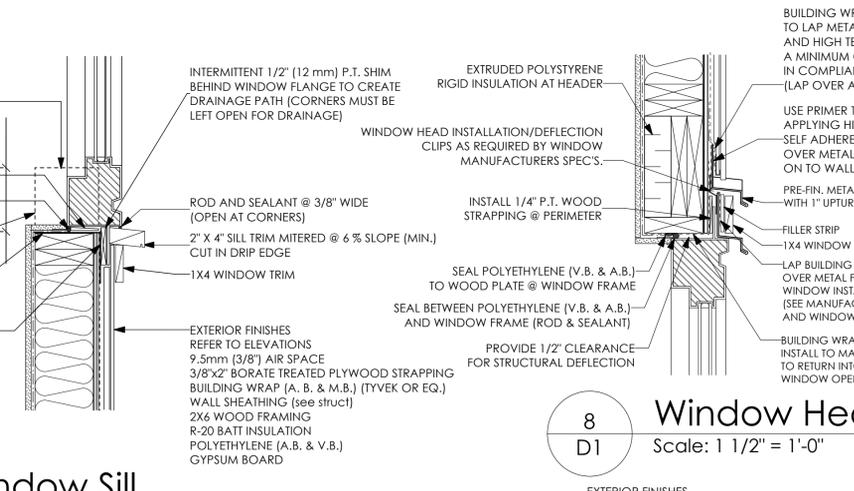
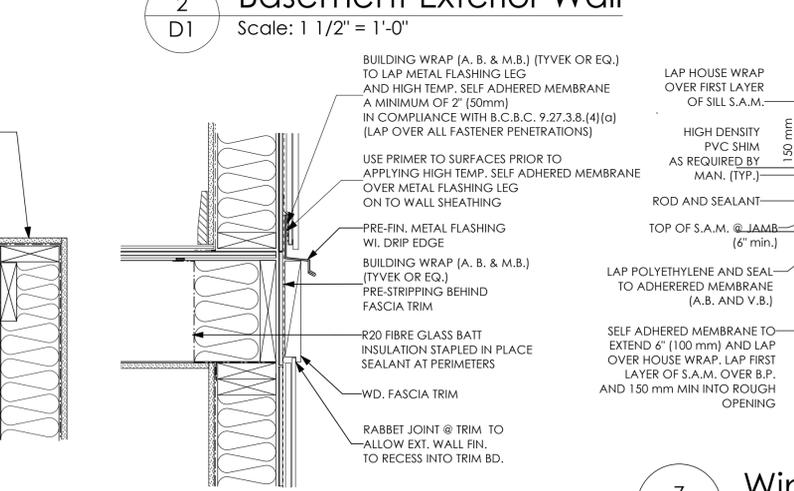
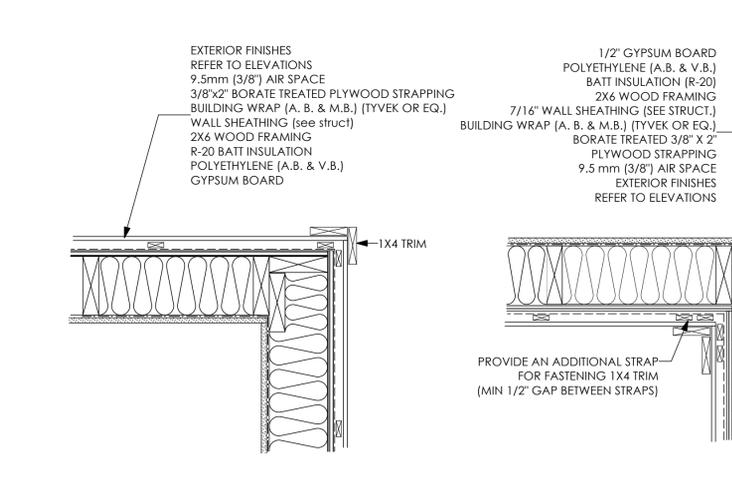
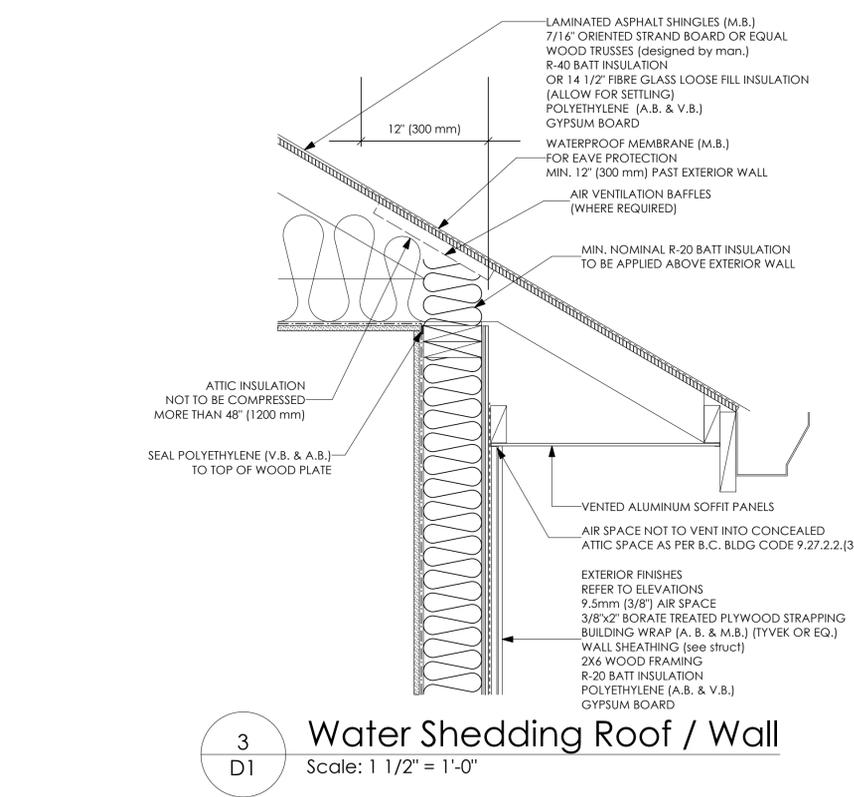
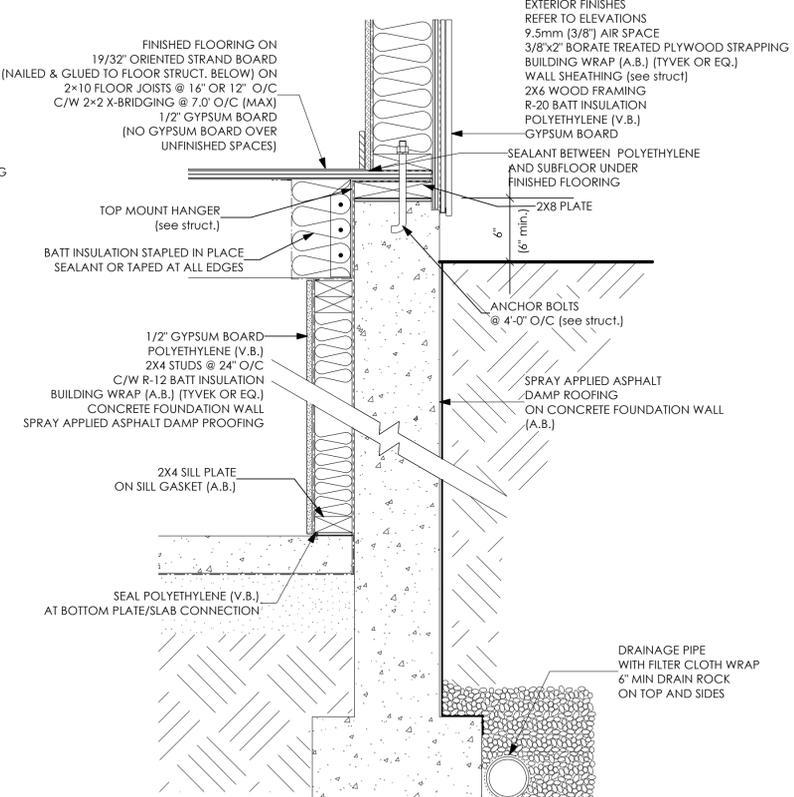
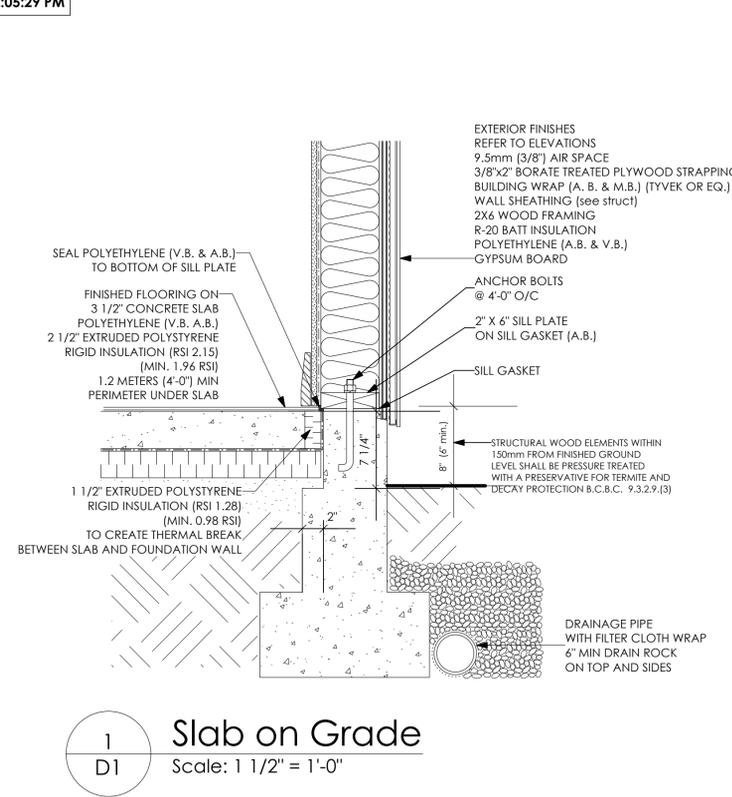


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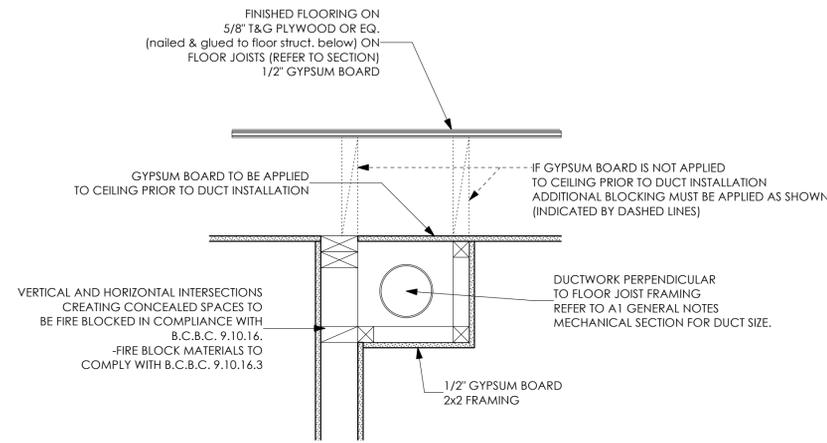


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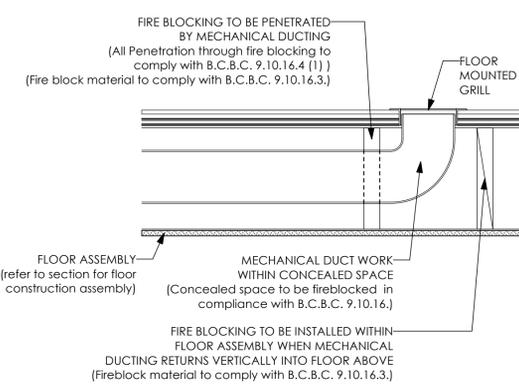
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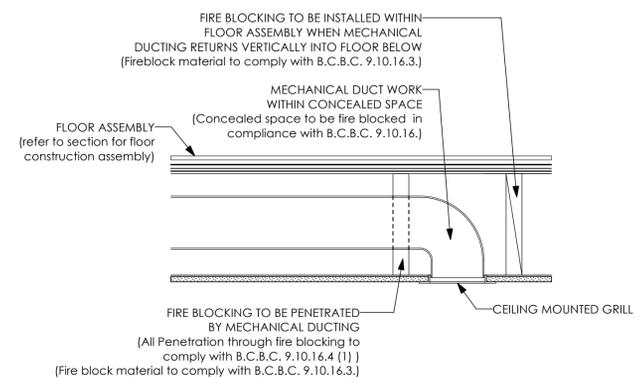
PROPOSED RESIDENCE
Langdon Weir Construction Ltd.
Lot 16 - Latoria Terrace
2160 Bellflower Dr.
Langford, B.C.



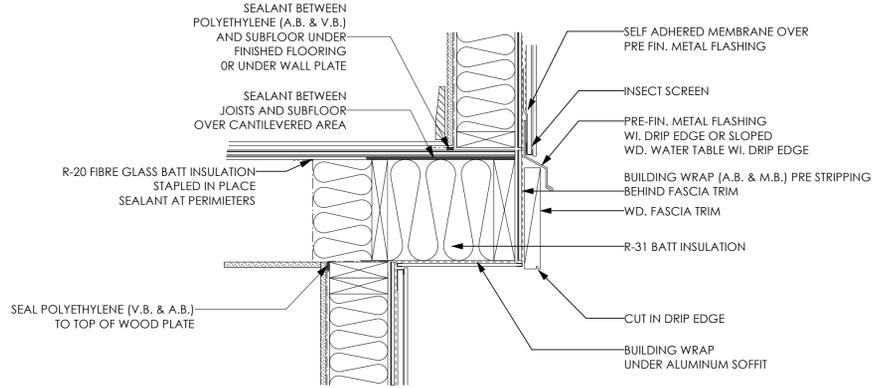
1
D2 Fire Blocking Bulkheads
Scale: 1 1/2" = 1'-0"



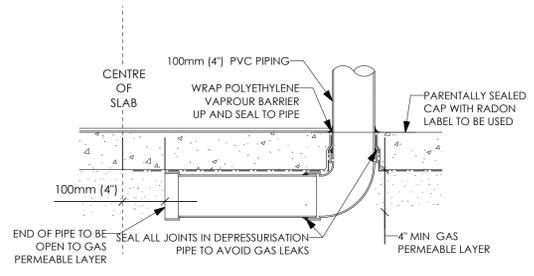
2
D2 Fire Blocking Within Floor Detail A
Scale: 1 1/2" = 1'-0"



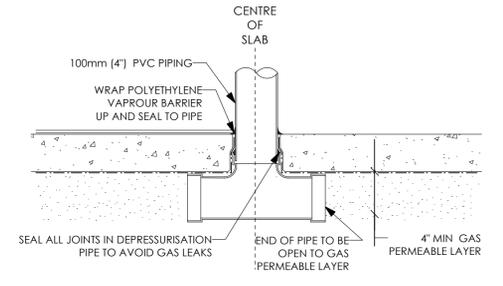
3
D2 Fire Blocking Within Floor Detail B
Scale: 1 1/2" = 1'-0"



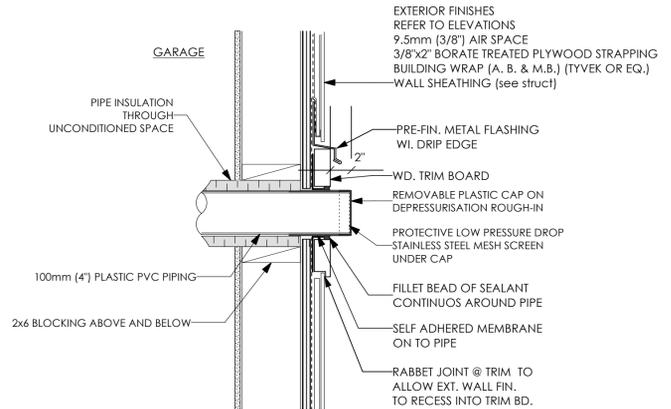
4
D2 Cantilevered Floor
Scale: 1 1/2" = 1'-0"



5
D2 Slab Depressurisation A
Scale: 1 1/2" = 1'-0"



6
D2 Slab Depressurisation B
Scale: 1 1/2" = 1'-0"



7
D2 Slab Depressurisation Garage Wall Penetration Detail
Scale: 1 1/2" = 1'-0"

LIST OF DRAWINGS	
A1	General Notes
A2	Site plan
A3	Elevations
A4	Foundation & Lower Floor
A5	Main & Upper Floors
A6	Cross-Section
D1	Construction Details
D2	Rainscreen Details

ISSUED/REVISED	
01	02/14/25 Check Set for Client review
02	02/21/25 Check Set for Client review
03	03/04/25 Area update

vdg | victoria design group
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Langford, BC F. 250.382.7364
V9B 2T9 www.victoriadesigngroup.ca

DATE	Mar 04, 2025	DRWG NO.	8524 Lot 16
DRAWN BY	PN	REVIEWED BY	
SCALE	As Shown	SHT. NO.	D2 OF D2

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PROJECT
PROPOSED RESIDENCE
Langdon Weir Construction Ltd.
Lot 16 - Latoria Terrace
2160 Bellflower Dr.
Langford, B.C.



LATORIA

TERRACE



2160 Bellflower Dr. (Lot 16)

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only.

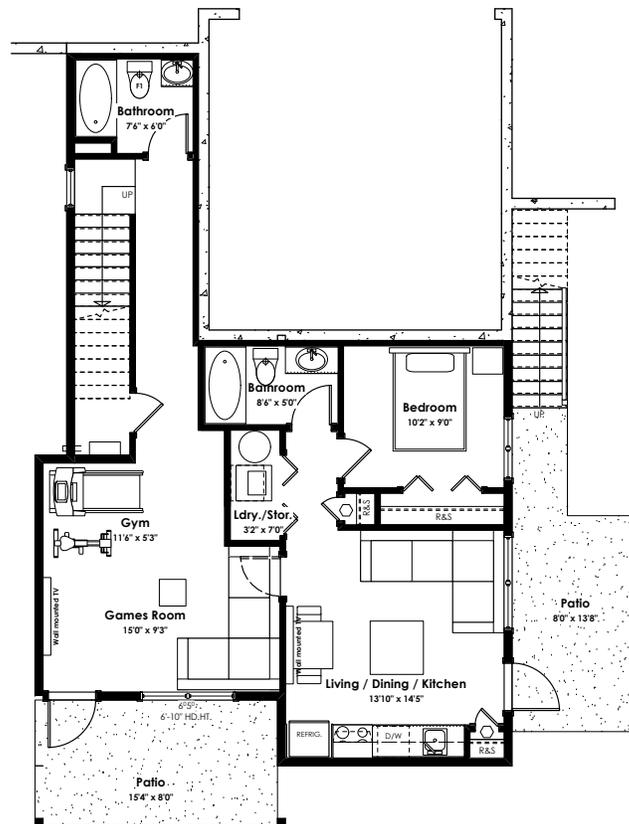
Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval.

Retaining Wall construction types:

- Non-mortared boulder wall
- Concrete Cast in place wall
- Pre-cast masonry landscape wall

Retaining walls will be designed, placed and constructed in the sole discretion of the developer.

Furniture as shown on plans are for layout purposes only and are not included in the sale.



Lower Floor

Primary: 457.04 sq.ft.

Suite: 458.87 sq.ft.

LIVING AREA

Primary: 2,582.48 sq.ft.

Suite: 458.87 sq.ft.

Total: 3,041.35 sq.ft.

OTHER

Garage: 416.46 sq.ft.



LATORIA

TERRACE



2160 Bellflower Dr. (Lot 16)

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only.

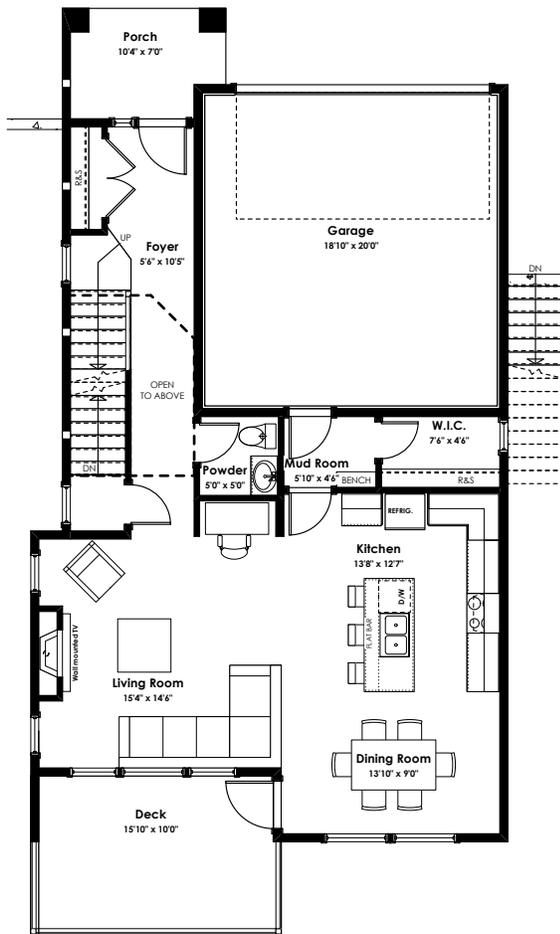
Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval.

Retaining Wall construction types:

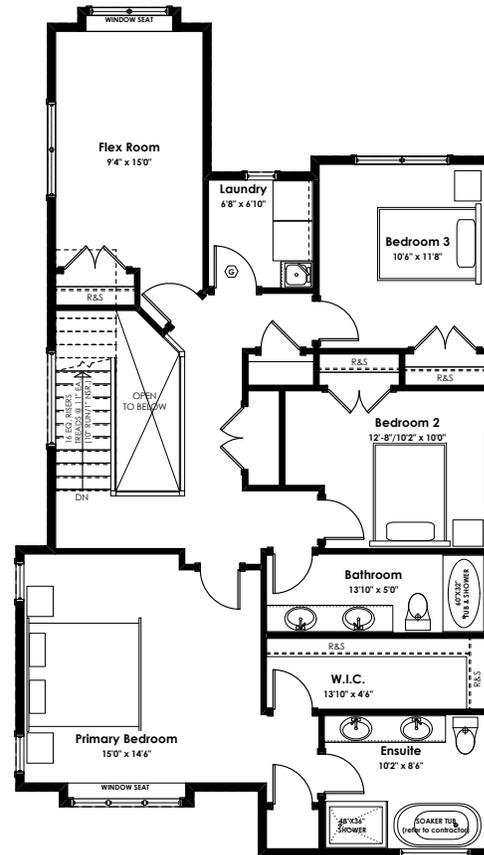
- Non-mortared boulder wall
- Concrete Cast in place wall
- Pre-cast masonry landscape wall

Retaining walls will be designed, placed and constructed in the sole discretion of the developer.

Furniture as shown on plans are for layout purposes only and are not included in the sale.



Main Floor
Primary: 890.50 sq.ft.



Upper Floor
Primary: 1234.08 sq.ft.

LIVING AREA	
Primary:	2,582.48 sq.ft.
Suite:	458.87 sq.ft.
Total:	3,041.35 sq.ft.

OTHER	
Garage:	416.46 sq.ft.